

TRU COLORS BREWERY

715 GREENFIELD STREET WILMINGTON, NORTH CAROLINA 28401

DESIGN DOCUMENTS

OCTOBER 2019

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTRACTOR SHALL CONTACT AT&T PRIOR TO ANY DEMOLITION TO ALLOW FOR AT&T TO DISCONNECT COMMUNICATIONS CABLES COMING INTO THE SITE.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: PLANNER
PH: 910-341-3260

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

CITY OF WILMINGTON ENGINEERING
ATTN: RICH CHRISTENSEN, PE
PH: 910-341-7813

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE
ATTN: CITY OF WILMINGTON FIRE & LIFE SAFETY
PH: 910-343-0696

CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-332-6550

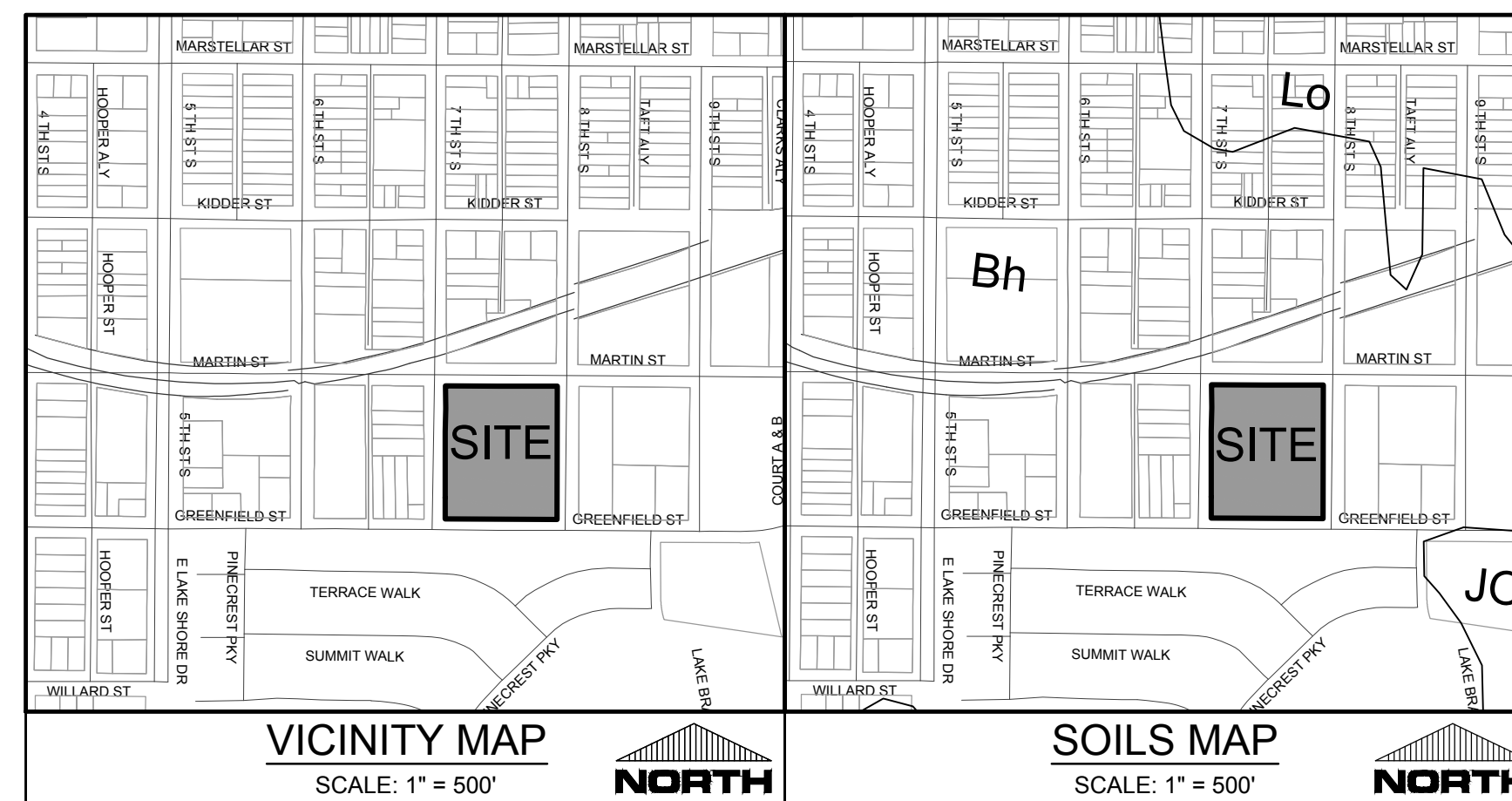
DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
DEP CSC PH: 1-800-452-2777

TRANSMISSION AGENT
BILL WILDER
PH: 910-772-4903

AT&T/BELL SOUTH
ATTN: STEVE DAYVAULT (BUILDING ENGINEERING)
PH: 910-341-0741

ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

SPECTRUM
GENERAL PH: 800-892-4357



OWNER/DEVELOPER:
TRU COLORS HOLDINGS, INC.
21 S. FRONT STREET
WILMINGTON, NC 28401

CIVIL - ENGINEERING, SURVEYING, LANDSCAPE ARCHITECTURE:
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: ROB BALLAND, P.E. (910) 791-6707 - ENGINEERING
ATTN: CHRIS GAGNE, PLS (910) 791-6707 - SURVEYING
ATTN: ALLISON ENGBRETSOEN, ASLA (910) 791-6707 - LANDSCAPE

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0 & C-1.1	GENERAL NOTES
C-2.0	SITE INVENTORY PLAN
C-2.1	DEMOLITION PLAN
C-2.2	SITE PLAN
L-1.0	LANDSCAPE PLAN

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846
PROJECT # 19321.PE

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

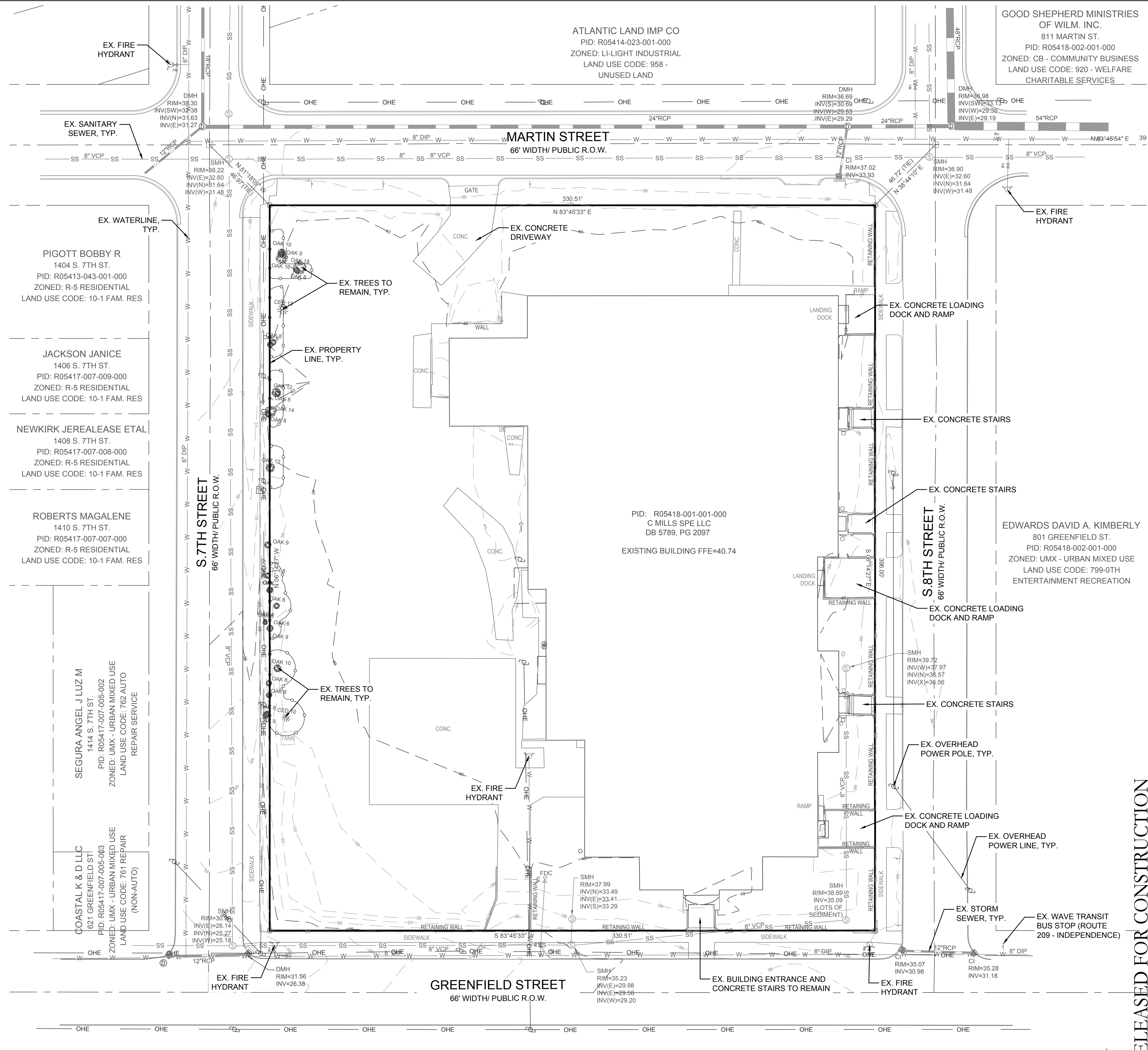
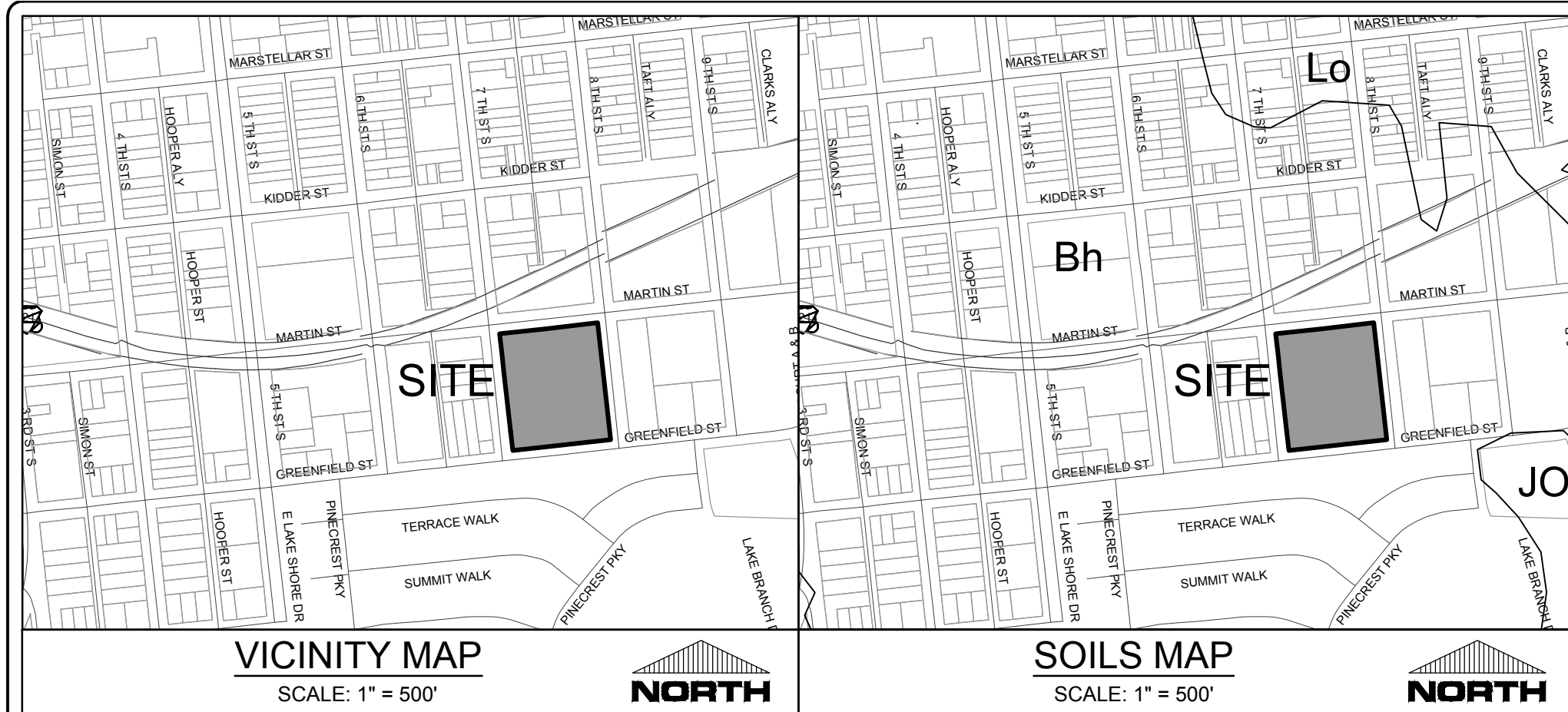
NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INVENTORY DATA

- PREPARER OF THE PLAN: PARAMOUNTE ENGINEERING, INC. 122 CINEMA DRIVE WILMINGTON, NC 28403
- APPLICANT NAME: TRU COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
- SITE ADDRESS: 715 GREENFIELD STREET WILMINGTON, NC 28401
- PROPERTY OWNER: TRU COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
- DEVELOPER: SAME AS PROPERTY OWNER
- PROPERTY BOUNDARY: SEE PLAN
- ZONING: UMX - URBAN MIXED USE
- ADJACENT PROPERTY INFORMATION (OWNER AND ZONING): SEE PLAN
- VICINITY MAP: SEE MAP ABOVE
- TOPOGRAPHY: SEE PLAN
- 100 YEAR FLOOD PLAIN BOUNDARY: SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS INDICATED BY FEMA FLOOD ZONE MAP NUMBER 3720312700K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.
- LOCATION OF EXISTING DITCHES, CREEKS, AND STREAMS: SEE PLAN
- SOILS: BAYMEADED-URBAN LAND (Bh) (SEE SOILS MAP ABOVE)
- CAMA AEC & ASSOCIATED SETBACKS: N/A
- CAMA LAND CLASSIFICATION: URBAN
- CONSERVATION RESOURCES: N/A
- LOCAL, STATE, OR FEDERAL HISTORIC OR ARCHAEOLOGICAL SITE: N/A
- LOCATION OF CEMETERIES, BURIAL SITES, OR BURIAL GROUNDS: N/A
- SQUARE FOOTAGE OF FORESTED AREA, HABITAT, AND DOMINANT SPECIES: N/A
- SECTION 404 WETLANDS AND SECTION 10 WATERS: N/A
- PROTECTED SPECIES OR HABITAT: N/A
- THOROUGHFARES, BIKE ROUTES, SIDEWALKS, TRANSIT FACILITIES (EXISTING): SEE PLAN

ATLANTIC LAND IMP CO
PID: R05414-023-001-000
ZONED: L1-LIGHT INDUSTRIAL
LAND USE CODE: 958 - UNUSED LAND

GOOD SHEPHERD MINISTRIES OF WILM. INC.
811 MARTIN ST.
PID: R05418-002-001-000
ZONED: CB - COMMUNITY BUSINESS
LAND USE CODE: 920 - WELFARE CHARITABLE SERVICES

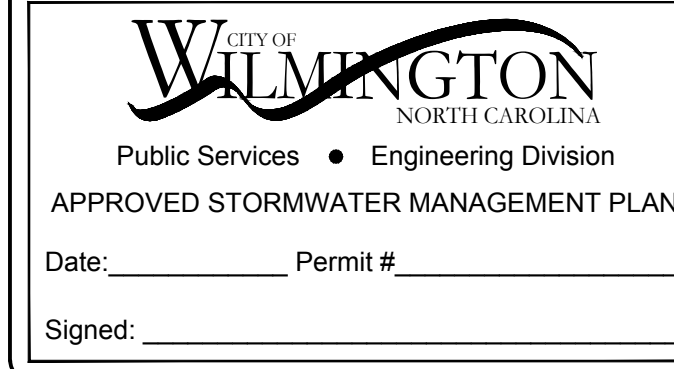
EDWARDS DAVID A. KIMBERLY
801 GREENFIELD ST.
PID: R05418-002-001-000
ZONED: UMX - URBAN MIXED USE
LAND USE CODE: 799-0TH ENTERTAINMENT RECREATION

EXISTING BUILDING FFE=40.74

LAKE FOREST INV.
250 PINECREST PKY.
PID: R05418-003-001-000
ZONED: R-5 RESIDENTIAL
LAND USE CODE: 12-3 + FAMILY RES.

NCDENR PWSS WATER PERMIT #: _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

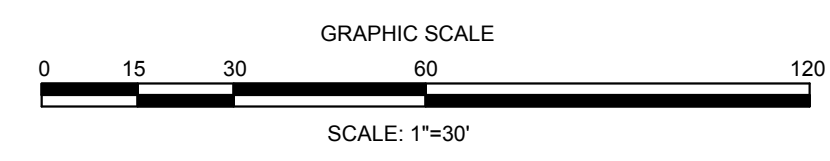
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Approved Construction Plan

Name _____ Date _____

Planning _____
Traffic _____
Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
MONTEITH CONSTRUCTION
208 PRINCESS STREET
WILMINGTON, NC 28401

PROJECT STATUS:
PRELIMINARY LAYOUT:
FINAL DESIGN:
RELEASED FOR CONSTRUCTION:

DRAWING INFORMATION:
DATE: 10/16/19
SCALE: 1"=30'
AEC: AEC
AEC: AEC
AEC: AEC
CHECKED: _____

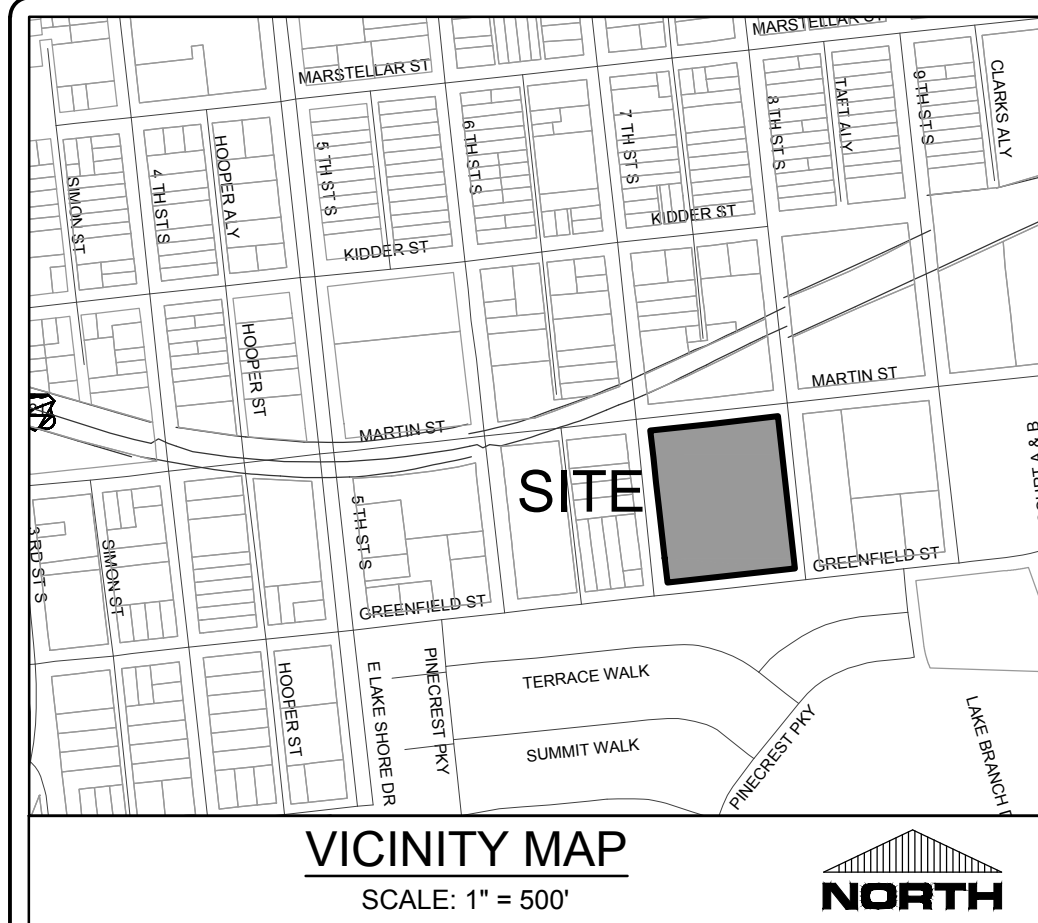
SITE INVENTORY PLAN

TRU COLORS BREWERY
715 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

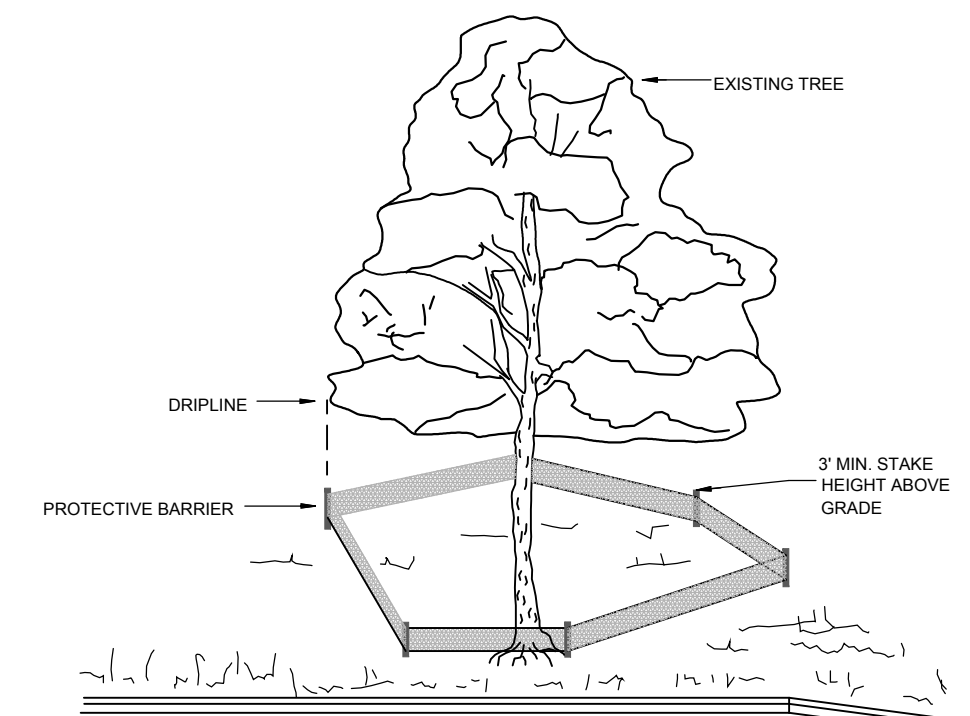
C-2.0

PEI JOB#: 19321.PE



- DEMOLITION NOTES:**
- CONTRACTOR SHALL REFER TO SHEET C-1.0 GENERAL NOTES FOR DEMOLITION NOTES.
 - CONTRACTOR SHALL MAKE NO PAVEMENT CUTS INTO SURROUNDING STREETS WITHOUT THE WRITTEN PERMISSION OF THE CITY OF WILMINGTON.
 - ALL UTILITIES SHALL BE ABANDONED AND/OR DEMOLISHED AND CAPPED PROPERLY IN ACCORDANCE WITH THE UTILITY OWNERS' RULES AND REGULATIONS.
 - CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY OWNERS/PROVIDERS FOR RELOCATION AND/OR DEMOLITION REQUIRED.
- EX. VEGETATION NOTES:**
- EXISTING TREES ON-SITE ARE TO REMAIN.

SYMBOLS LEGEND	
	EXISTING CONCRETE TO BE REMOVED
	EXISTING ASPHALT TO BE REMOVED
	EXISTING UTILITY LINE TO BE REMOVED
	EXISTING STORM STRUCTURE TO BE REMOVED
	EXISTING SIGN/LIGHT/UTILITY POLE TO BE REMOVED
	EXISTING FENCE TO BE REMOVED
	TREE PROTECTION FENCING
	EXISTING TREE/SHRUBS TO BE REMOVED
	EXISTING BUILDING/STRUCTURE TO BE REMOVED
	EXISTING CURBING TO BE REMOVED



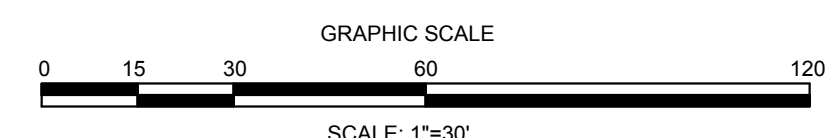
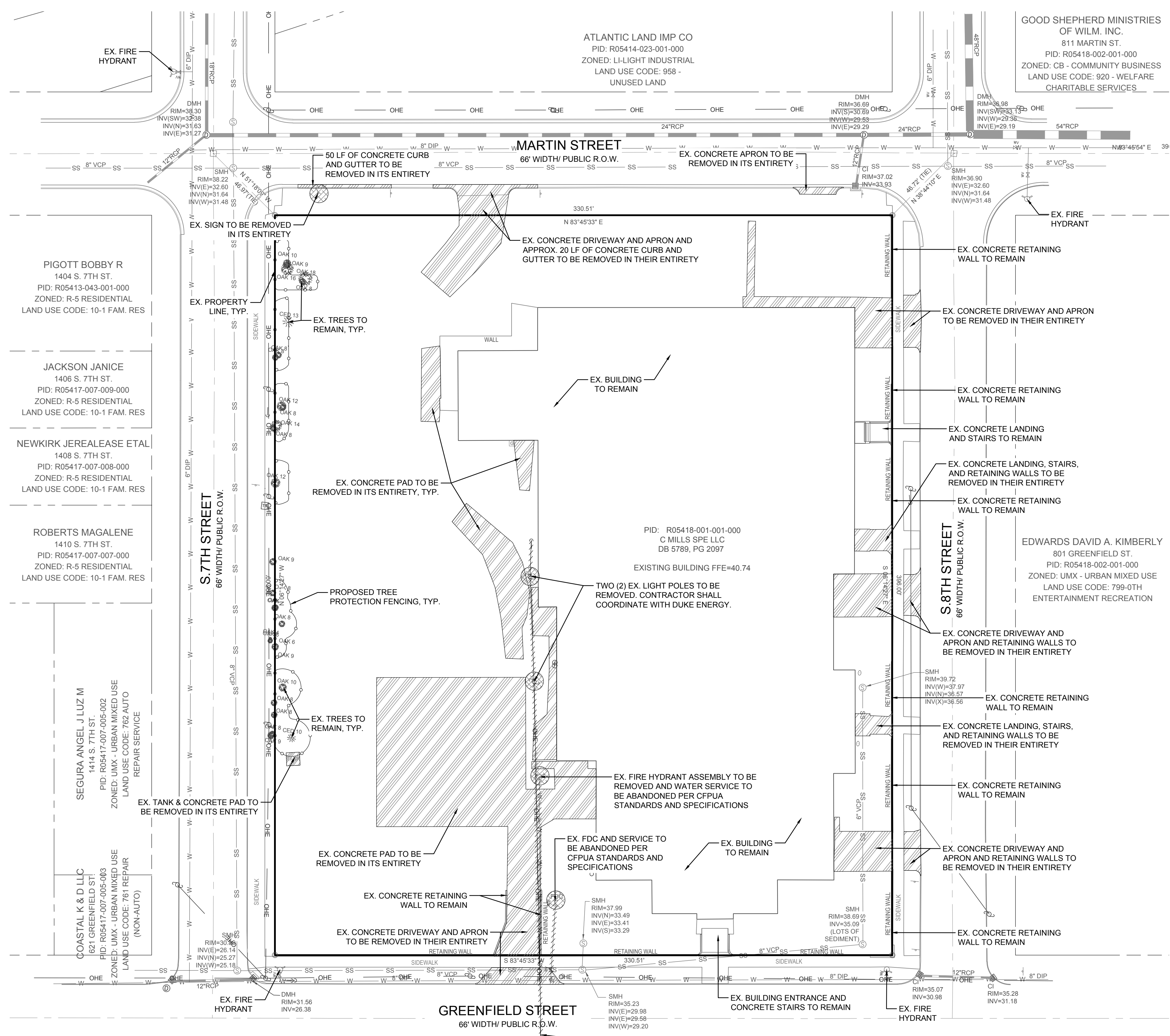
- NOTES:**
- TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION
 - INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION
 - FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER
 - DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES
 - CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER
- (A) METHOD OF TREE PROTECTION DURING CONSTRUCTION**
NTS

NC DENR PWSS WATER PERMIT #: _____
 WATER CAPACITY: _____ GPD
 DWQ SEWER PERMIT #: _____
 SEWER CAPACITY: _____ GPD
 SEWER SHED # AND PLANT: _____
 SEWER TO FLOW THROUGH NEI: YES OR NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
MONTEITH CONSTRUCTION
 208 PRINCESS STREET
 WILMINGTON, NC 28401

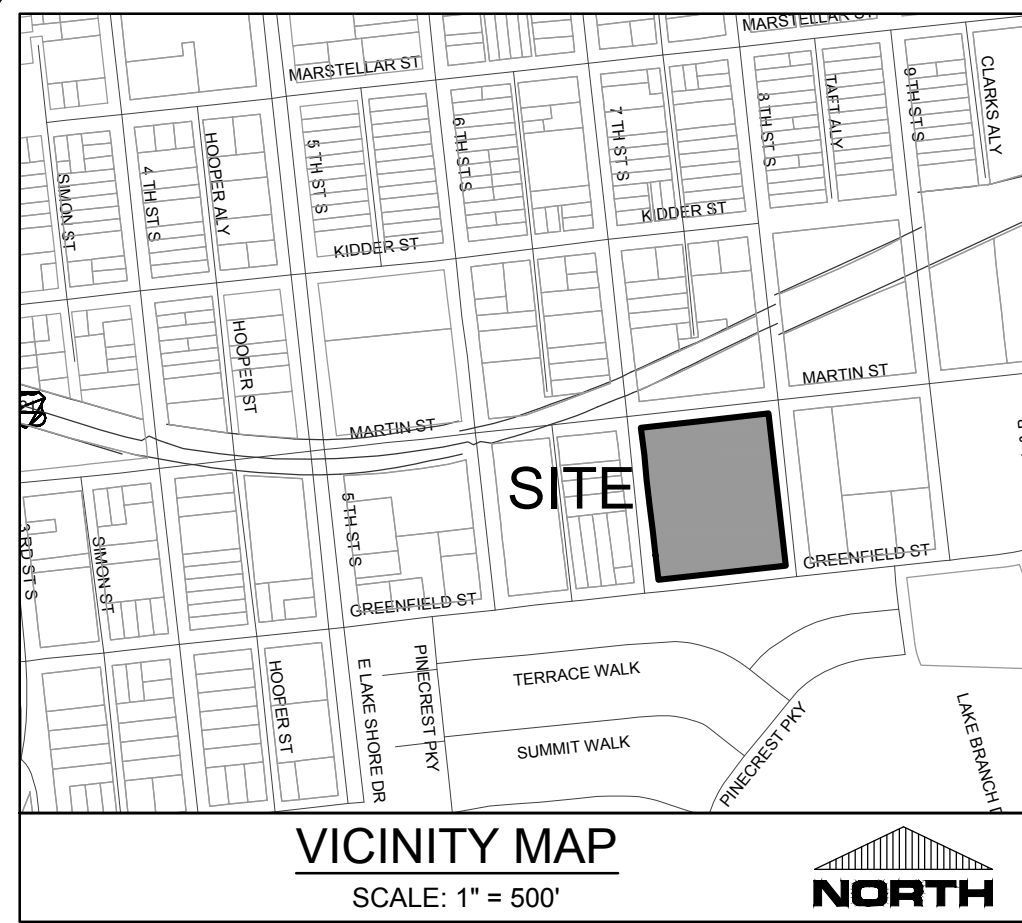
PARAMOUNT ENGINEERING
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6760 (F)
 NC License #: C-2846

DEMOLITION PLAN
TRU COLORS BREWERY
 715 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA

PROJECT STATUS
 PRELIMINARY LAYOUT:
 FINAL DESIGN:
 RELEASED FOR CONSTRUCTION:
DRAWING INFORMATION
 DATE: 10/16/19
 SCALE: 1"=30'
 DRAWN: AEC
 CHECKED: PBE

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.1
 PEI JOB#: 19321.PE



SITE DATA TABULATION

PROJECT NAME & ADDRESS: TRU COLORS BREWERY
715 GREENFIELD STREET
WILMINGTON NC, 28401

PROPERTY OWNER: TRUE COLORS HOLDINGS, INC.
21 S. FRONT STREET
WILMINGTON, NC 28401

TAX PARCEL IDENTIFICATION #: R05418-001-001-000

RECORDED MAP BOOK: BK 6252, PG 1875-1878

TOTAL SITE AREA: 3.00 ACRES (130,897 SF)

CURRENT ZONING: UMX (URBAN MIXED USE)
CAMA LAND USE CLASSIFICATION: URBAN

BUILDING DATA
NUMBER OF BUILDINGS: 1
MAXIMUM ALLOWABLE BUILDING HEIGHT: 45 FT.
EX. BUILDING HEIGHT: 21 FT.
PROPOSED BUILDING HEIGHT: 21 FT.
EXISTING LAND USE: VACANT MANUFACTURING BLDG.
PROPOSED LAND USE: BREWERY, ADMIN. OFFICES, DAYCARE, CLINIC, RESTAURANT

NUMBER OF STORIES: 1
TOTAL BUILDING AREA: EXISTING: 51,243 SQ. FT.
PROPOSED: 13,243 SQ. FT.
64,486 SQ. FT.

TOTAL BUILDING AREA: 64,486 SQ. FT.

BUILDING LOT COVERAGE: 49.3%
PROPOSED BLDG. CONSTRUCTION: IIB

SETBACK STANDARDS
INSIDE THE 1945 CORPORATE LIMITS, NO SETBACKS ARE REQUIRED EXCEPT WHERE ADJUTING A SINGLE-FAMILY RESIDENTIAL DISTRICT, EXCLUDING STREET AND ALLEY RIGHTS-OF-WAY.

PARKING REQUIREMENTS
THERE ARE NO MINIMUM PARKING REQUIREMENTS. PARKING SHALL NOT EXCEED THE MAXIMUM PARKING REQUIREMENTS ESTABLISHED FOR ANY USE IN ARTICLE 9 OF THIS CHAPTER.

OFF-STREET PARKING PROVIDED: 38 SPACES
ON-STREET PARKING PROVIDED: 65 SPACES
TOTAL PARKING PROVIDED: 103 SPACES

HC SPACES REQUIRED (ON-SITE): 2 SPACES
HC SPACES PROVIDED (ON-SITE): 3 SPACES (1 VAN ACCESSIBLE)

BICYCLE PARKING
REQUIRED: COMMERCIAL/RETAIL USES
5 SPACES OR 1 PER 1,000 SQ. FT. OF GROSS FLOOR AREA (64,486 SF / 1,000 = 64 SPACES)
65 SPACES (13 RACKS)

PROVIDED:

FLOOD NOTE
THIS PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FEMA FLOOD MAP NO. 3720312700K BEARING AN EFFECTIVE DATE OF 8/28/2018.

ZONING OVERLAY NOTE
THE SUBJECT PARCEL DOES NOT LIE WITHIN A SPECIAL OVERLAY DISTRICT.

SITE IMPERVIOUS INFORMATION

EXISTING IMPERVIOUS:	68,200 SF
EXISTING IMPERVIOUS TO BE REMOVED:	12,110 SF
EXISTING IMPERVIOUS TO REMAIN	56,090 SF

PROPOSED IMPERVIOUS AREA

BUILDINGS	13,250 SF
ON-SITE SIDEWALKS/DUMPSTERS	3,450 SF
FUTURE	7,500 SF
ASPHALT/ CONCRETE/ CURB & GUTTER	18,900 SF
TOTAL PROPOSED IMP. AREA	43,100 SF (0.99 AC)

NET IMPERVIOUS AREA = PROPOSED - EXISTING = 30,990 SF
PROPOSED PERCENT IMPERVIOUS 87,080 SF / 130,897 SF = 66.5%

WASTE DISPOSAL
WASTE DISPOSAL WILL BE PROVIDED WITH A CENTRAL DUMPSTER LOCATION. THIS LOCATION HAS BEEN NOTED ON THE PLAN. ALL TRASH-HANDLING AND RELATED EQUIPMENT SHALL BE COMPLETELY ENCLOSED AND SCREENED WITH AN OPAQUE FENCE OR WALL. THE ENCLOSURE SHALL BE AT LEAST ONE (1) FOOT TALLER THAN THE HIGHEST POINT OF THE TRASH RECEPTACLE.

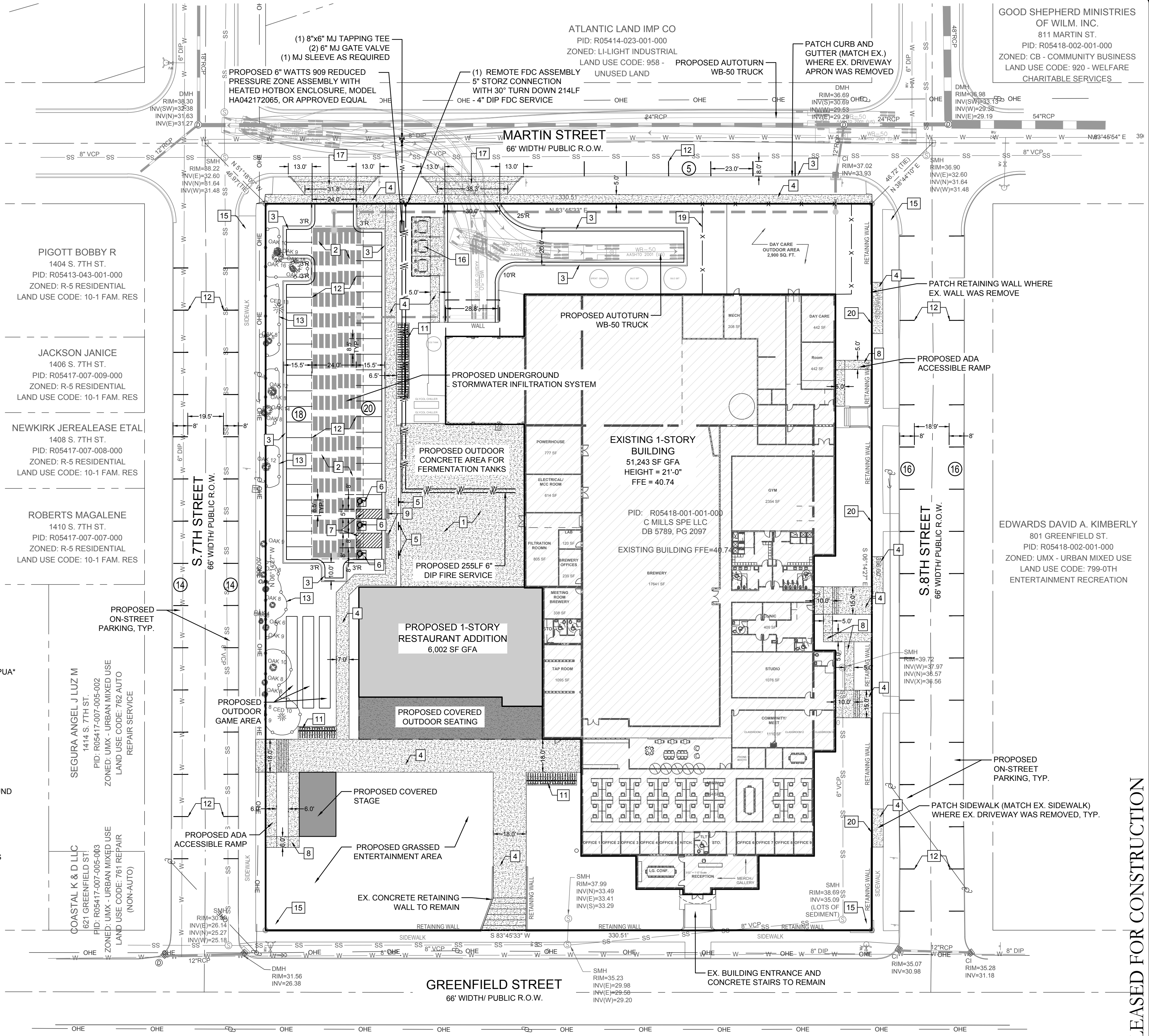
- KEY NOTES:**
- CONCRETE PAVING: REFER TO DETAILS
 - LIGHT DUTY ASPHALT PAVING: REFER TO DETAILS
 - STANDARD 24" CURB & GUTTER: REFER TO DETAILS
 - CONCRETE SIDEWALK: REFER TO DETAILS
 - HANDICAP PARKING SIGN: REFER TO DETAILS
 - HANDICAP PARKING SYMBOL: REFER TO DETAILS
 - HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
 - HANDICAP RAMP (SIDEWALK): SEE DETAIL C-5.0
 - DETECTABLE WARNING MAT: REFER TO DETAIL C-5.0
 - CONCRETE WHEEL STOP: 8" x 4" x 6" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1"-6" LONG #4 REBAR. REFER TO DETAILS
 - BICYCLE RACK (5 BIKE MIN. PER RACK): CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL
 - STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
 - TREE PROTECTION FENCING: REFER TO DETAILS
 - PARKING LOT SITE LIGHTING: BY OTHERS
 - C.O.W. SIGHT DISTANCE TRIANGLES: 20'x70' SDT AT DRIVEWAYS & 46'x46' SDT AT INTERSECTIONS. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES THAT IS NOT EXEMPT IN THE CENTRAL BUSINESS DISTRICT SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
 - SOLID WASTE DISPOSAL AREA ENCLOSURE AREA DESIGNED BY OTHERS
 - C.O.W. STANDARD COMMERCIAL DRIVEWAY APRON REFER TO DETAILS
 - GENERATOR PAD REFER TO ARCHITECTURAL PLANS
 - PROPOSED 6" CHAIN LINK FENCE CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW
 - PROPOSED RETAINING WALL TO MATCH EXISTING. DESIGN BY OTHERS.

WATER AND SEWER CAPACITY
ALL EXISTING WATER AND SEWER UTILITIES ARE OWNED BY CFPWA
SANITARY SEWER
EXISTING = 0 GPD
PROPOSED = 10,477 GPD

WATER
EXISTING = 0 GPD
PROPOSED = 10,477 GPD

LAND CLEARING
PRIOR TO ANY LAND CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.

MISCELLANEOUS NOTES
1.) CONTACT TRAFFIC ENGINEERING AT 910-341-7888 48-HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.



WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning	_____
Traffic	_____
Fire	_____

NCDENR PWSS WATER PERMIT #: _____ GPD
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT #: _____ GPD
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

811
Know what's Below.
Call before you dig.

GRAPHIC SCALE
0 15 30 60 120
SCALE: 1"=30'

FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
PARAMOUNT ENGINEERING INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6766 (F)
NC License #: C-2546

SITE PLAN

TRU COLORS BREWERY
715 GREENFIELD STREET
WILMINGTON, NORTH CAROLINA

MONTEITH CONSTRUCTION
208 PRINCESS STREET
WILMINGTON, NC 28401

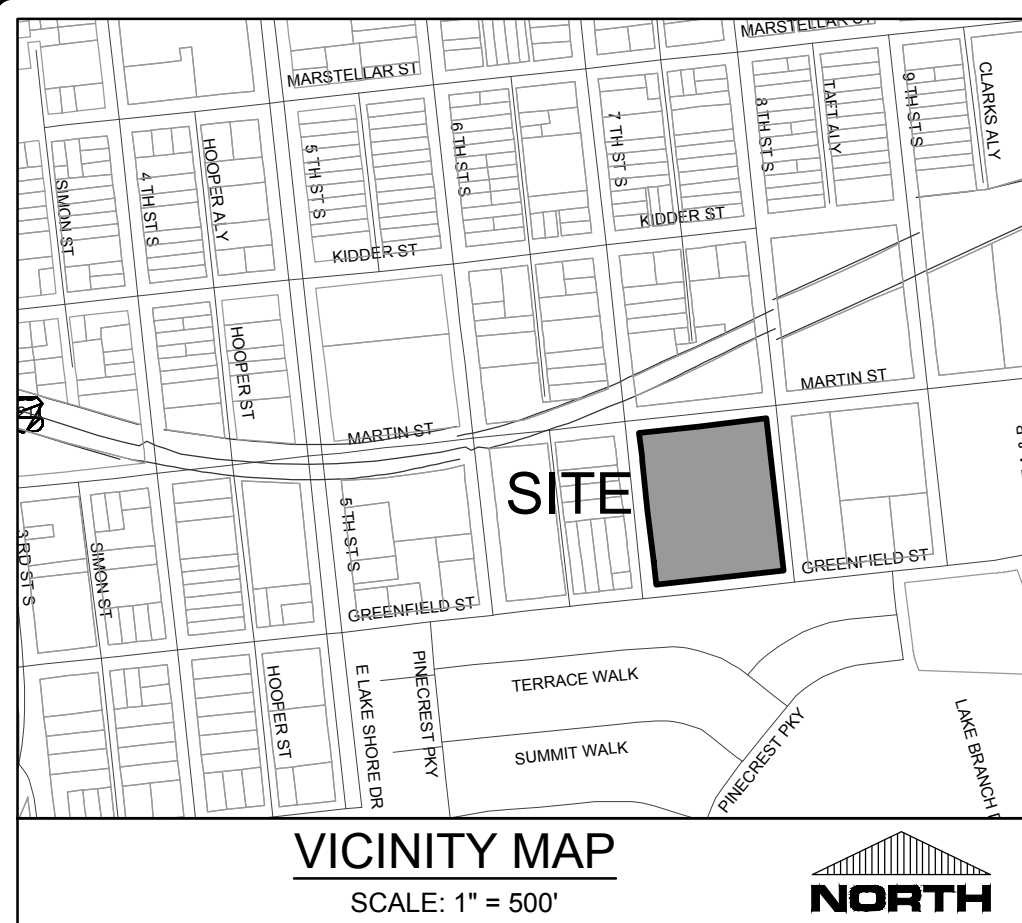
PROJECT STATUS:
CONCEPT LAYOUT: _____
FINAL DESIGN: _____
RELEASED FOR CONSTRUCTION: _____

DRAWING INFORMATION:
DATE: 10/6/19
SCALE: 1"=30'
DESIGNER: AEC
DRAWING: AEC
CHECKED: RRE

Professional Seal
redacted on electronic
copy per City of
Wilmington Policy

C-2.2

PEI JOB#: 19321.PE



SITE DATA TABULATION

PROJECT NAME & ADDRESS:	TRU COLORS BREWERY 715 GREENFIELD STREET WILMINGTON NC, 28401
PROPERTY OWNER:	TRUE COLORS HOLDINGS, INC. 21 S. FRONT STREET WILMINGTON, NC 28401
TAX PARCEL IDENTIFICATION #:	R05418-001-001-000
RECORDED MAP BOOK:	BK 6252, PG 1875-1878
TOTAL SITE AREA:	3.00 ACRES (130,897 SF)
CURRENT ZONING:	UMX (URBAN MIXED USE)
CAMA LAND USE CLASSIFICATION:	URBAN
BUILDING DATA	
NUMBER OF BUILDINGS:	1
MAXIMUM ALLOWABLE BUILDING HEIGHT:	45 FT.
EX. BUILDING HEIGHT:	21 FT.
PROPOSED BUILDING HEIGHT:	21 FT.
EXISTING LAND USE:	VACANT MANUFACTURING BLDG.
PROPOSED LAND USE:	BREWERY, ADMIN. OFFICES, DAYCARE, CLINIC, RESTAURANT
NUMBER OF STORIES:	1
TOTAL BUILDING AREA:	EXISTING: 51,243 SQ. FT. PROPOSED: 13,243 SQ. FT. 64,486 SQ. FT.
TOTAL BUILDING AREA:	
BUILDING LOT COVERAGE:	49.3%
PROPOSED BLDG. CONSTRUCTION:	IIB

LANDSCAPE CALCULATIONS:

STREET TREE PLANTING - Sec. 18-204(c)(7)(c) / 18-196(f)(3)

Within the 1945 corporate limits, street tree plantings in below-grade planters shall be included in the public right-of-way at the rate of one (1) tree per thirty (30) feet of frontage. If the city manager determines there is no plaza or other space available for tree plantings in the right-of-way, or determines that the planting is problematic for the site, a payment-in-lieu of tree plantings, equal to the cost for the required trees, including materials and installation, shall be paid by the developer into the City of Wilmington tree improvement fund.

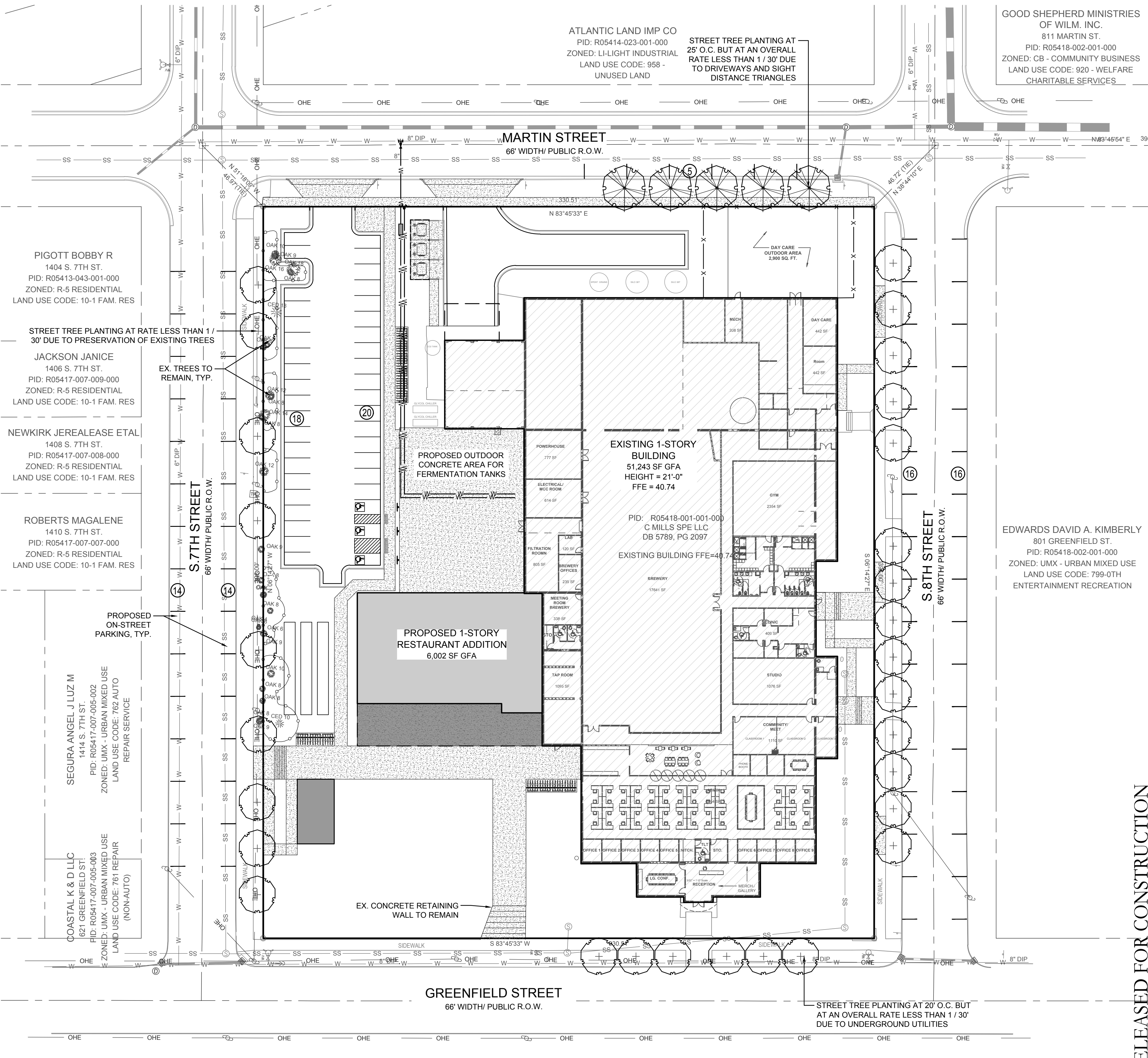
Greenfield Street 330 LF / 30' spacing =	REQ'D 11	PROV 6
8th Street 396 LF / 30' spacing =	REQ'D 14	PROV 9
9th Street 396 LF / 30' spacing =	REQ'D 14	PROV 14
Martin Street 330 LF / 30' spacing =	REQ'D 11	PROV 5

STREET TREE PLANTING QUANTITIES LESS THAN REQUIRED DUE TO EXISTING SITE CONDITIONS AND EXISTING TREES - SEE PLAN

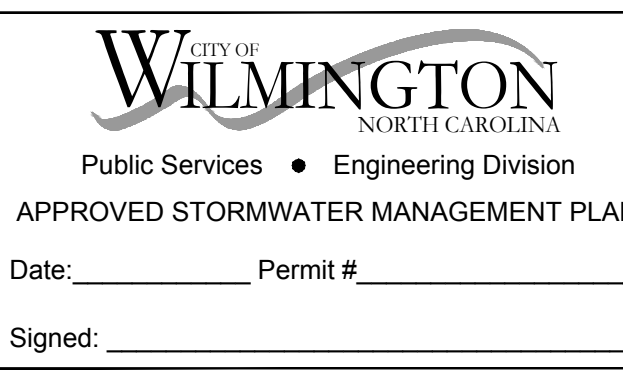
PLANT SCHEDULE

STREET TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	WO	5	Quercus phellos Willow Oak	2.5" cal
	LBE	29	Ulmus parvifolia "Drake" Drake Lacebark Elm	2.5" cal

PLANTING NOTES:
 1. ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
 2. SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH BERMUDA 'BLACKJACK'



LAKE FOREST INV.
250 PINECREST PKY.
PID: R05418-003-001-000
ZONED: R-5 RESIDENTIAL
LAND USE CODE: 12-3 + FAMILY RES.



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

NCDENR PWSS WATER PERMIT #: _____

WATER CAPACITY: _____ GPD

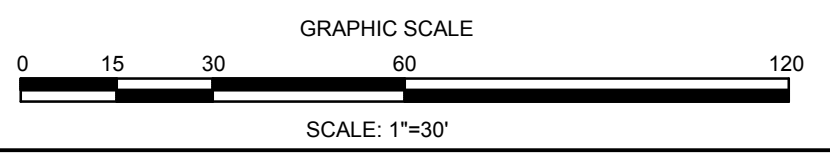
DWQ SEWER PERMIT #: _____

SEWER CAPACITY: _____ GPD

SEWER SHED # AND PLANT: _____

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



FINAL DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:

CLIENT INFORMATION:
PARAMOUNT ENGINEERING, INC.
 122 Cinema Drive
 Wilmington, North Carolina 28403
 (910) 791-6707 (O) (910) 791-6700 (F)
 NC License #: C-2846

LANDSCAPE PLAN

TRU COLORS BREWERY
 715 GREENFIELD STREET
 WILMINGTON, NORTH CAROLINA

PROJECT STATUS
 PREPARED BY: []
 FINAL DESIGN: []
 PRELIMINARY LAYOUT: []
 RELEASED FOR CONSTRUCTION: []

DRAWING INFORMATION
 DATE: 10/16/19
 SCALE: 1"=30'
 DRAWN: JRC
 CHECKED: JRC

Professional Seal redacted on electronic copy per City of Wilmington Policy

L-1.0

PEI JOB#: 19321.PE